



TOWN OF VIEW ROYAL

BOARD OF VARIANCE MEETING
WEDNESDAY, JUNE 14, 2023 AT 7:00PM
VIEW ROYAL COUNCIL CHAMBERS

A G E N D A

1. **CALL TO ORDER**
 - a) Selection of chair and co-chair
2. **APPROVAL OF AGENDA**
(motion to approve)
3. **MINUTES, RECEIPT & ADOPTION OF**
4. **APPLICATIONS**
 - a) **2023-01 - 2814 Shoreline Dr** (Lot 22, Section 2, Esq Dist, Plan VIP11919) Pg. 2-21
Applicants: C & D Wignall
Variance: Reduce side yard setback from 2.0m to 1.71m and increase height of principal building from 7.5m to 8.4m
5. **CORRESPONDENCE**
6. **NEW BUSINESS**
7. **TERMINATION**

- (iii) substantially affect the use and enjoyment of adjacent land;*
- (iv) vary permitted uses and densities under the applicable bylaw;*
- (v) defeat the intent of the bylaw.*

BACKGROUND:

RELEVANT BYLAWS / POLICIES:

The requested variances are to Section 8.1.4 of Zoning Bylaw No. 900, 2014, specifically the subsections titled *Building Size* and *Siting of Principal Building and Other Structures*.

ATTACHMENTS:

- Attachment 1 – Letter to the Board
- Attachment 2 – Survey
- Attachment 3 – Plans

DISCUSSION:

The owner requests that two variances be considered to facilitate a proposed renovation to their home (Attachment 3), which includes the removal of a portion of the roof on the northwest side of the house, for the construction of a new bedroom, walk-through closet, and ensuite.

Side Yard Setback Variance

The applicant is proposing to reduce the minimum side yard setback for a principal dwelling from 2m to 1.71m to allow for a second-floor addition to project into the minimum required setback distance. The home is considered existing non-conforming as it currently encroaches into the required setback and for this reason a variance is requested. The applicant has requested the Board to review the application in consideration that the home is constrained by existing lot configuration, siting, and the minimum required setback.

Height Variance

The applicant is requesting to increase the maximum height of the building from 7.5m to 8.4m. For clarity, the height of the building is not changing; however, the roof shape is changing from a pitched roof to an irregular shaped roof, which is measured differently in the Zoning Bylaw. A pitched roof is measured to mid-point of the roof, whereas an 'irregular' roof type is measured to top of roof. The result is that the height of the building has technically 'increased' based on definition. The proposed roof construction is actually lower than the existing top of roof. The construction will require that the extent of the roof be expanded, covering a portion of the existing deck beneath. See Figures 1 to 4 (Attachment 3) for further clarification for the proposed addition.

Figure 1 - Existing Rear (West) Elevation

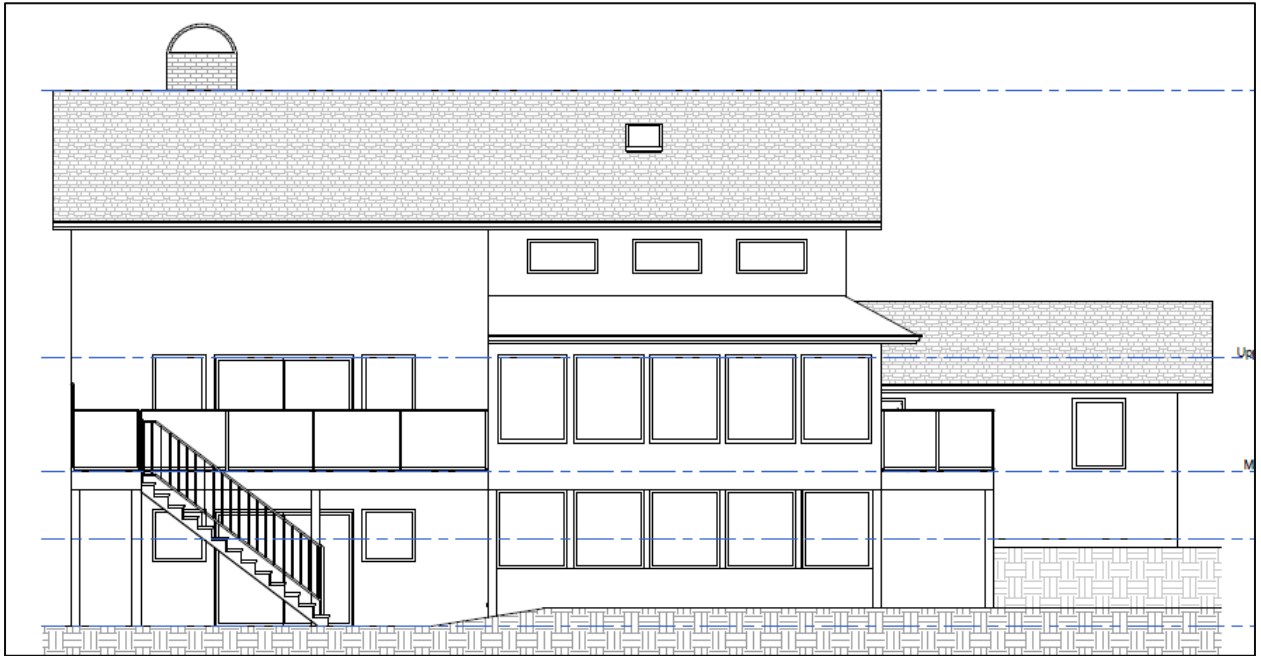


Figure 2 - Proposed Rear (West) Elevation

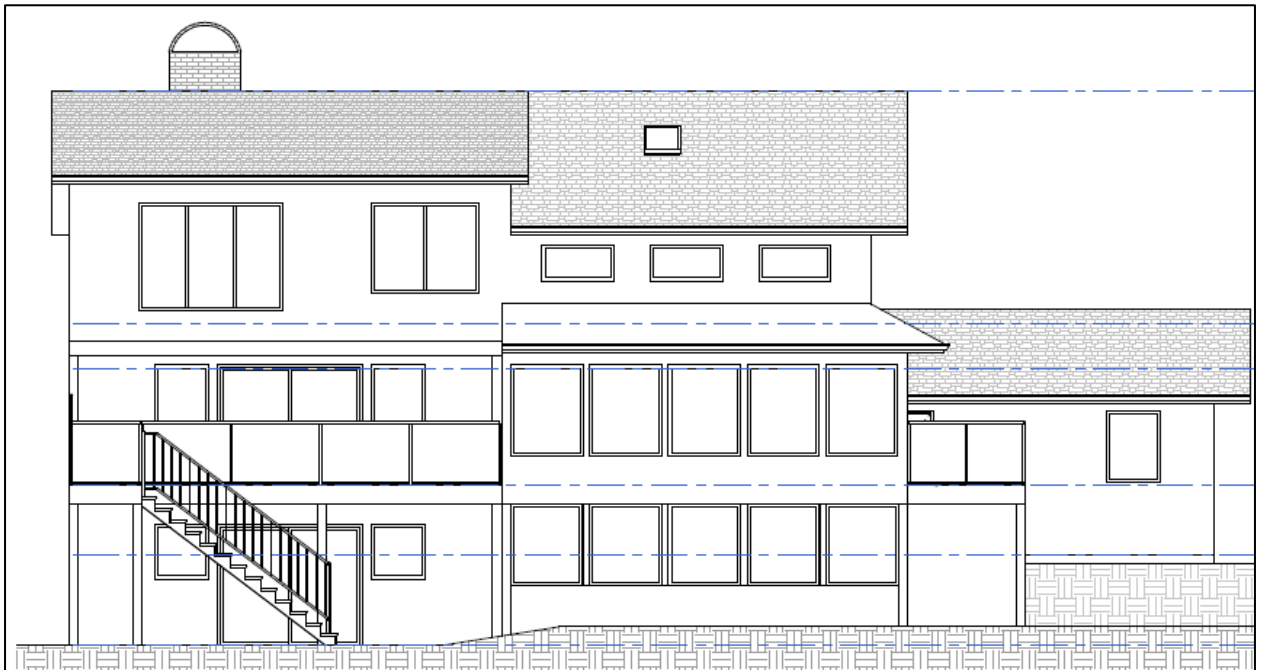


Figure 3 - Existing Side (North) Elevation

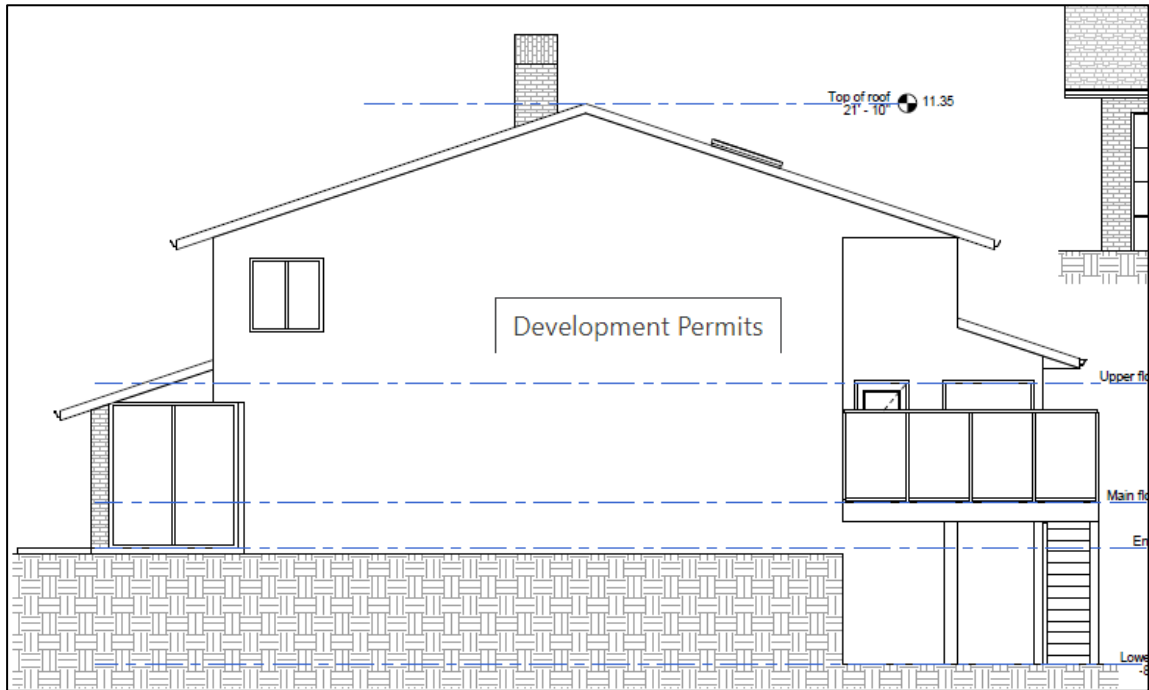
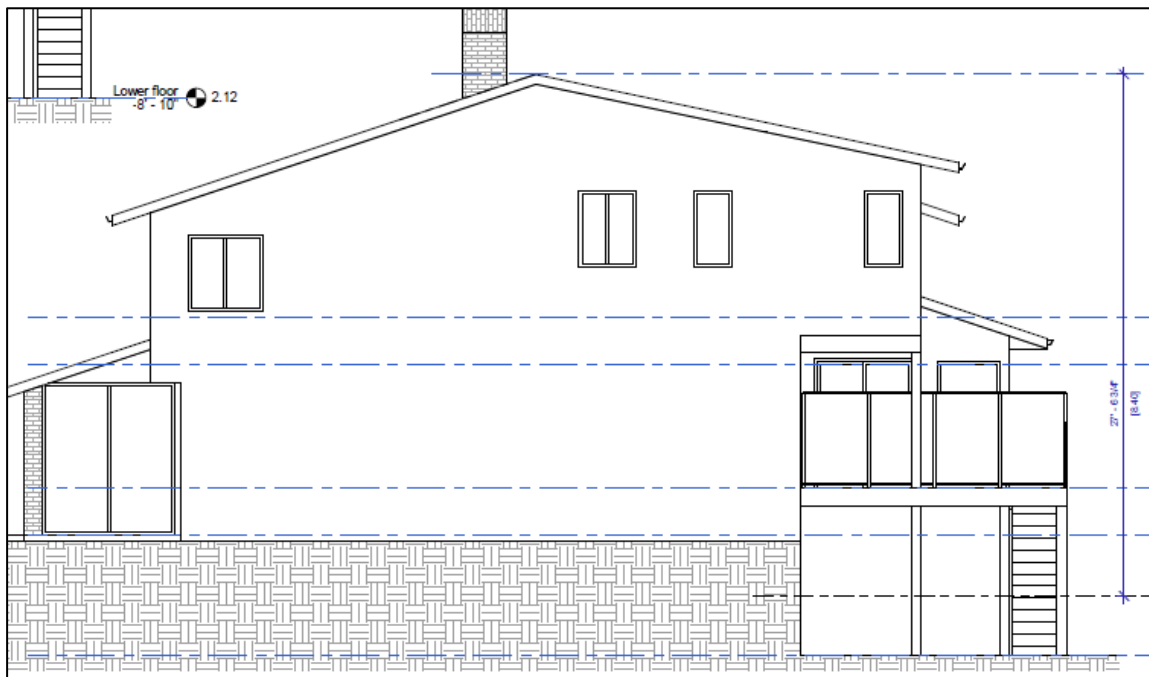
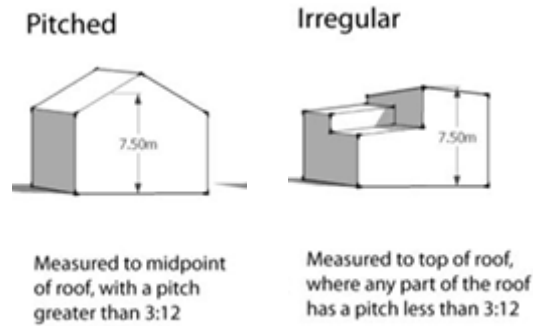


Figure 4 - Proposed Side (North) Elevation



For greater clarity, the following images are taken from the definition section for *height* from Zoning Bylaw No. 900, 2014.

Figure 5 - Pitched Vs Irregular Roof



These images above in Figure 5 show the difference in how height is measured for a pitched roof (midpoint) and for an irregular roof (top of roof).

Other Considerations:

The subject site is located on the periphery of the Natural Watercourse and Shoreline Development Permit Area, and the proposed works appear to be outside of this development permit area. If development occurred in this area, then the applicant would be required to apply for a Development Permit, subject to Council approval.

PUBLIC NOTIFICATION:

A notice of the Board's consideration of this variance application was delivered to owners and occupants of properties within a radius of 100 metres of the subject parcel.

SUBMITTED BY: Stirling Scory
Stirling Scory, RPP, MCIP
Community Planner

ATTACHMENT 1

May 23 2023

Roof Height Variance and Side yard setback variance request for 2814 Shoreline Drive

To Whom It May Concern:

We are requesting variance relaxations for:

**Max roof height from 7.5m to 8.4m.
.9m Relaxation**

**Interior side yard setback from 2.0m to 1.71m
.29m Relaxation**

Hardship:

The existing house has a large vaulted ceiling, this unutilized floor area, and create a large cold space that creates drafts. The existing east (rear) facing roof has a large and high overhang that does little to protect from wind driven rain. Both case hardship due to the lack of thoughtful design. We have designed a modest bedroom, walk-thru closet and ensuite. The bedroom is only 12' wide, the is just enough space. The existing roof is slightly too low to allow livable space. A new rafter roof needs to be built. This means we need to build a 2/12 shed roof to create proper head height. The existing roof peak seen from road side / frontage will remain the same. This existing top of roof is 8.4m. The new 2.12 pitch roof connects to the existing ridge. Unfortunately the 2/12 roof is consider a flat roof, and a new structure. This is the reason for the variance request. Also a very small portion of the outer gable wall of this roof is 1.71m from the property line. Even though much of the existing house is also closer than 2m, this new portion of wall needs to conform to the setback, or needs a needs a minor variance relaxation.

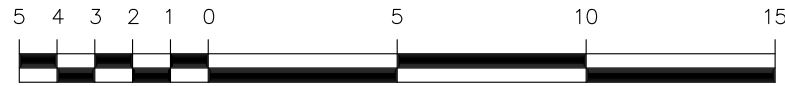
We feel the above info identifies the hardship required to allow a board of variance to grant relaxation. We feel this is a minor variance.

Thank you

Lindsay Justin Baker
Aspire Custom Designs Ltd.
250-415-1856

**Site Plan Of:
 Lot 22, Section 2,
 Esquimalt District, Plan 11919.
 P.I.D. 004-910-567**

ATTACHMENT 2



Scale = 1:200

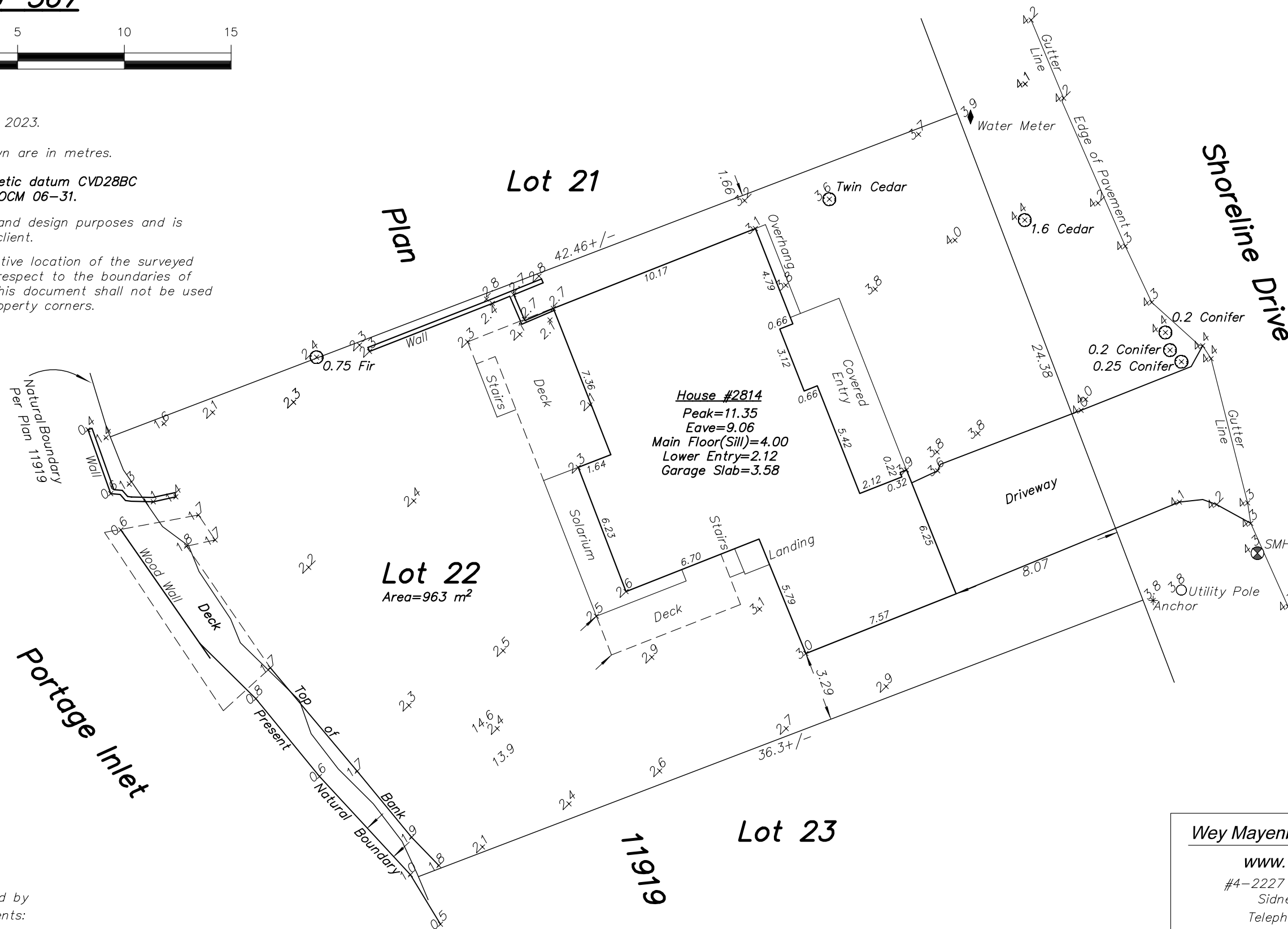
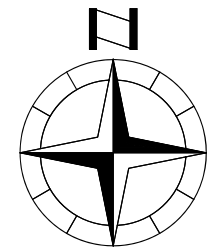
Dated this 8th day of March, 2023.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC and derived from View Royal OCM 06-31.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.



The subject property is affected by the following registered documents:
218608G.

Wey Mayenburg Land Surveying Inc.

www.weysurveys.com

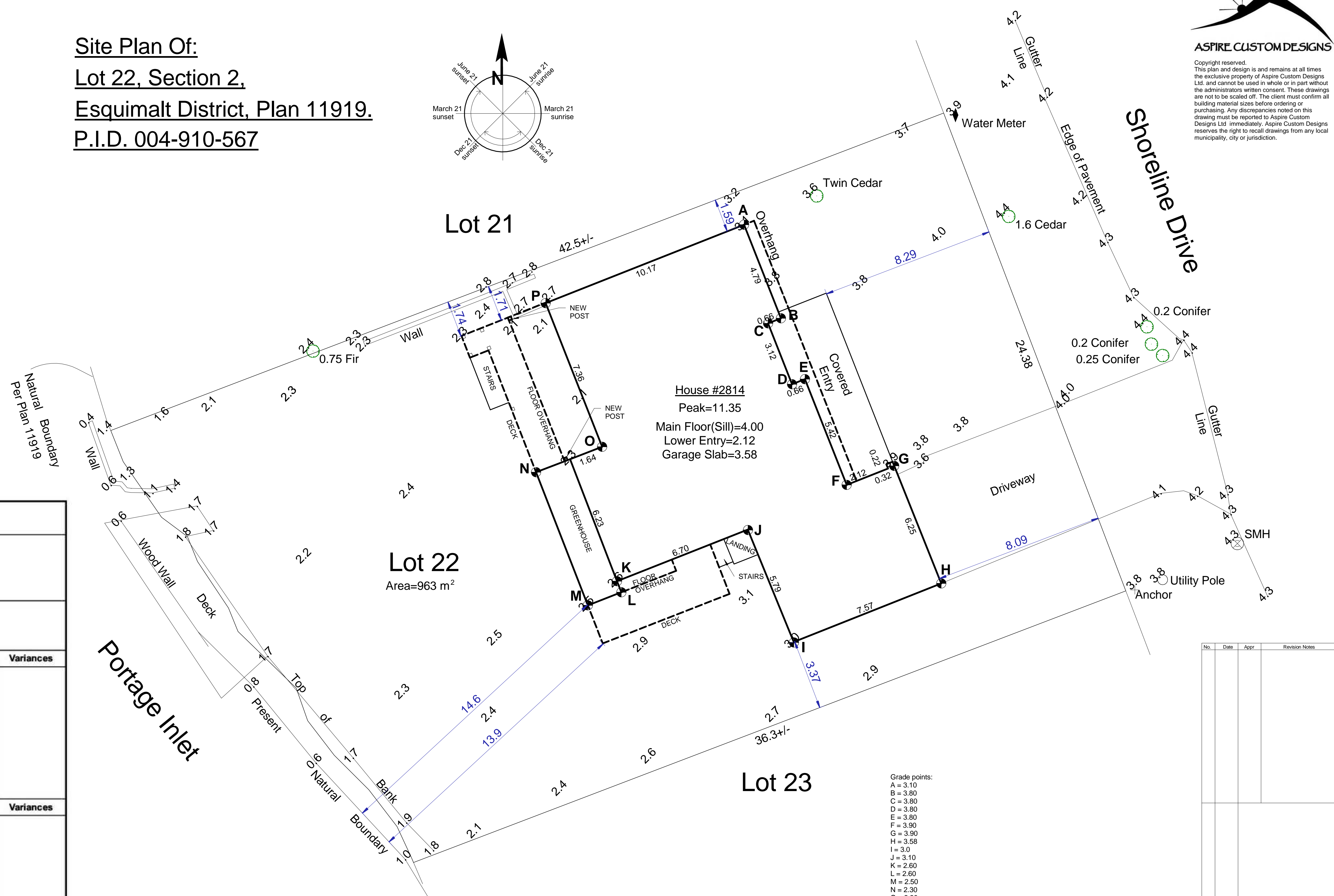
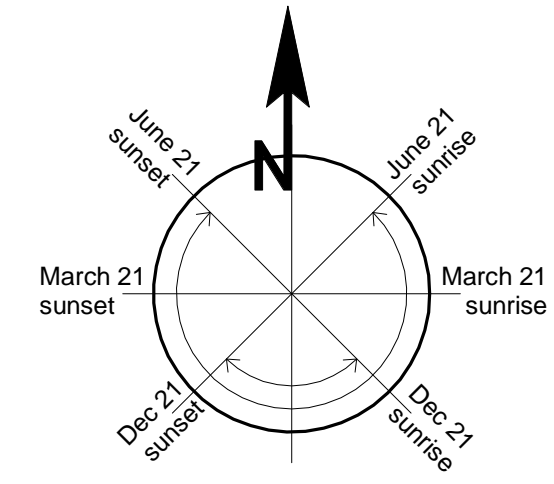
#4-2227 James White Boulevard
 Sidney, BC V8L 1Z5

Telephone (250) 656-5155

File: 230052\SIT\NO

ATTACHMENT 3

Site Plan Of:
 Lot 22, Section 2,
 Esquimalt District, Plan 11919.
 P.I.D. 004-910-567



PROJECT DATA TABLE						
Civic address	2814 Shoreline Drive					
Legal description	Lot 22, Section 2, Esquimalt District, Plan 11919					
P.I.D.	004-910-567					
Proposed scope of work	Renovation / Addition					
Seismic Region SA	4					
Climatic Zone	NAFS					
Zone	Existing	Proposed	Allowable	Variances		
Lot area	R-1 963m ²	R-1 963m ²				
Combined lot coverage :	271.2m ² -28.17%	271.2m ² -28.17%	max40%			
House footprint	203m ²	203m ²				
Covered Porch footprint	23.1m ²	23.1m ²				
Rear decks&stairs footprint	45.1m ²	45.1m ²				
Impermeable Surface Coverage	343m ² -35.62%	343m ² -35.62%	max60%			
	Existing, sf ²	Existing, m ²	Proposed, sf ²	Proposed, m ²	Allowable	Variances
Floor area						
Upper floor	1161.00	107.9	1619.00	150.4		
Main floor	1606.00	149.2	1606.00	149.2		
Lower Floor	711.00	66.1	711.00	66.1		
Garage	435.00	40.4	435.00	40.4		
Total Floor Area	3913.00	363.5	4371.00	406.1		
Garage exemption	484.40	45.0	484.40	45.0		
Total Floor Area	3428.60	318.5	3886.60	361.1	max372m ²	
FSR		0.33		0.37		max0.42
	Existing, m	Proposed, m	Allowable	Variances		
Setbacks						
Front yard setback (east)	8.09	8.09	min7.5m			
Rear yard setback (west)	13.9	13.9	min7.5m			
Interior side yard setback (north)	1.59	1.71	min2.0m	0.29m		
Interior side yard setback (south)	3.37	3.37	min2.0m			
Heights						
Average grade	2.95	2.95				
Mid point of roof height	7.18	8.40	max7.5m	0.9m		

SITE PLAN
 1 : 100

- Grade points:
 A = 3.10
 B = 3.80
 C = 3.80
 D = 3.80
 E = 3.80
 F = 3.90
 G = 3.90
 H = 3.58
 I = 3.0
 J = 3.10
 K = 2.60
 L = 2.60
 M = 2.50
 N = 2.30
 O = 2.30
 P = 2.70

AVERAGE GRADE CALCULATIONS:
 A to B: (A+B)/2*4.79 = (3.1+3.8)/2*4.79 = 16.53
 B to C: (B+C)/2*0.66 = (3.8+3.8)/2*0.66 = 2.51
 C to D: (C+D)/2*3.12 = (3.8+3.8)/2*3.12 = 11.86
 D to E: (D+E)/2*0.66 = (3.8+3.9)/2*0.66 = 2.51
 E to F: (E+F)/2*5.42 = (3.8+3.9)/2*5.42 = 20.87
 F to G: (F+G)/2*2.44 = (3.9+3.9)/2*2.44 = 9.52
 G to H: (G+H)/2*6.0 = (3.9+3.58)/2*6.0 = 22.44
 H to I: (H+I)/2*5.7 = (3.58+3.0)/2*5.7 = 24.91
 I to J: (I+J)/2*5.79 = (3.0+3.1)/2*5.79 = 17.66
 J to K: (J+K)/2*6.70 = (3.1+2.6)/2*6.70 = 19.1
 K to L: (K+L)/2*0.6 = (2.6+2.6)/2*0.6 = 1.56
 L to M: (L+M)/2*1.75 = (2.6+2.5)/2*1.75 = 4.46
 M to N: (M+N)/2*6.85 = (2.5+2.3)/2*6.85 = 16.44
 N to O: (N+O)/2*3.35 = (2.3+2.3)/2*3.35 = 7.71
 O to P: (O+P)/2*7.36 = (2.3+2.7)/2*7.36 = 18.4
 P to A: (P+A)/2*10.17 = (2.7+3.1)/2*10.17 = 29.49

$$\frac{16.53+2.51+11.86+2.51+20.87+9.52+22.44+24.91+17.66+19.1+1.56+4.46+16.44+7.71+18.4+29.49}{4.79+0.66+3.12+0.66+5.42+2.44+6.0+5.7+6.70+0.6+1.75+6.85+3.35+7.36+10.17} = \frac{215.97}{73.23} = 2.95m$$

AVERAGE GRADE = 2.95m

No.	Date	Appr.	Revision Notes
A	23-04-24	Permit set	

No.	Date	Issue notes

Aspire Custom Designs
 1145 Bule Street
 Victoria BC Canada V8C-1L9
 Lindsay J Baker 250-415-1856

2814 SHORELINE DR
 RENOVATION

SITE PLAN / DATA SHEET

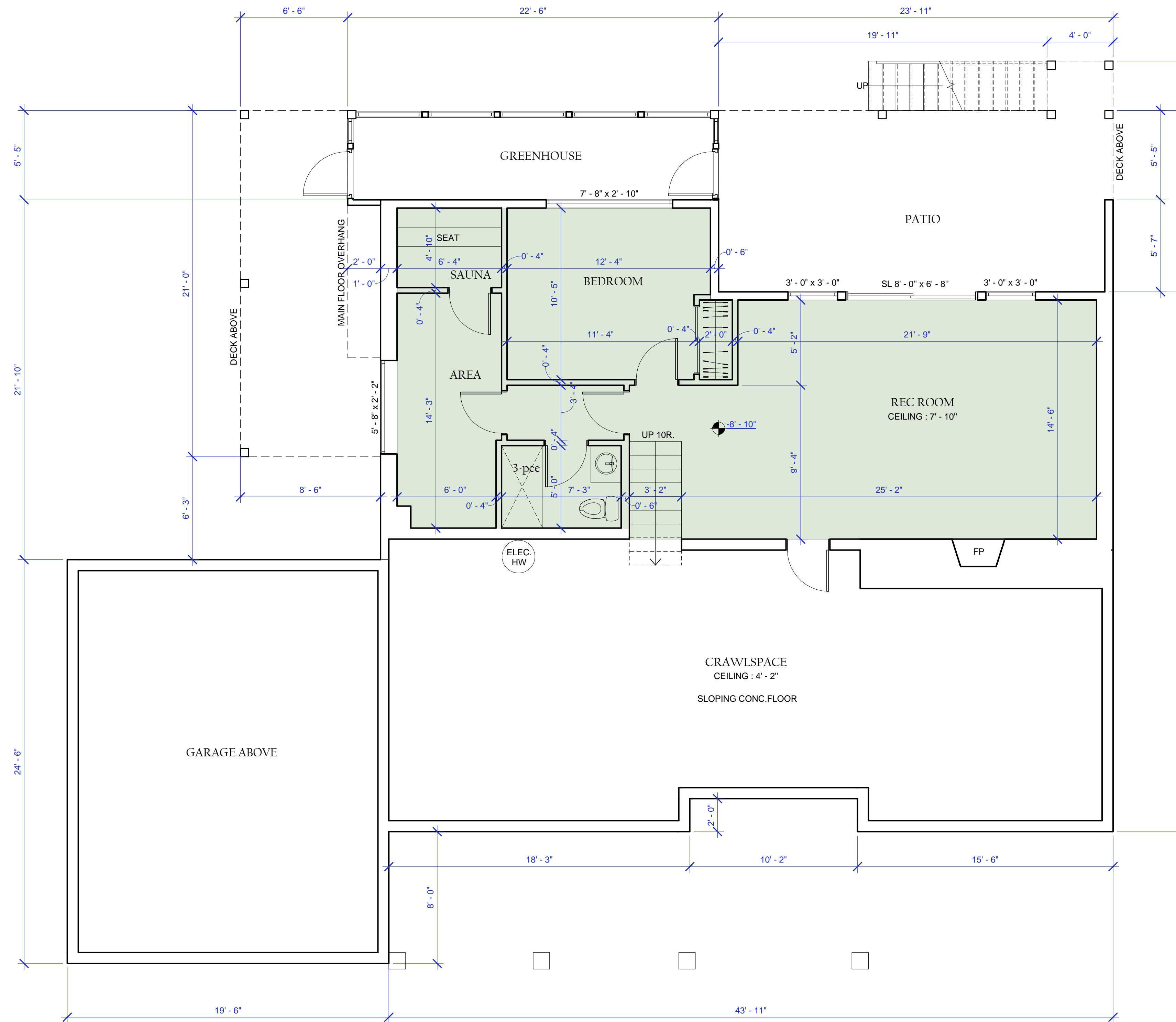
2023-07

L. Baker 1/4" = 1' or as noted

Apr 24, 2023

A1.0

EXISTING LOWER FLOOR - 711sq.ft / 66m²



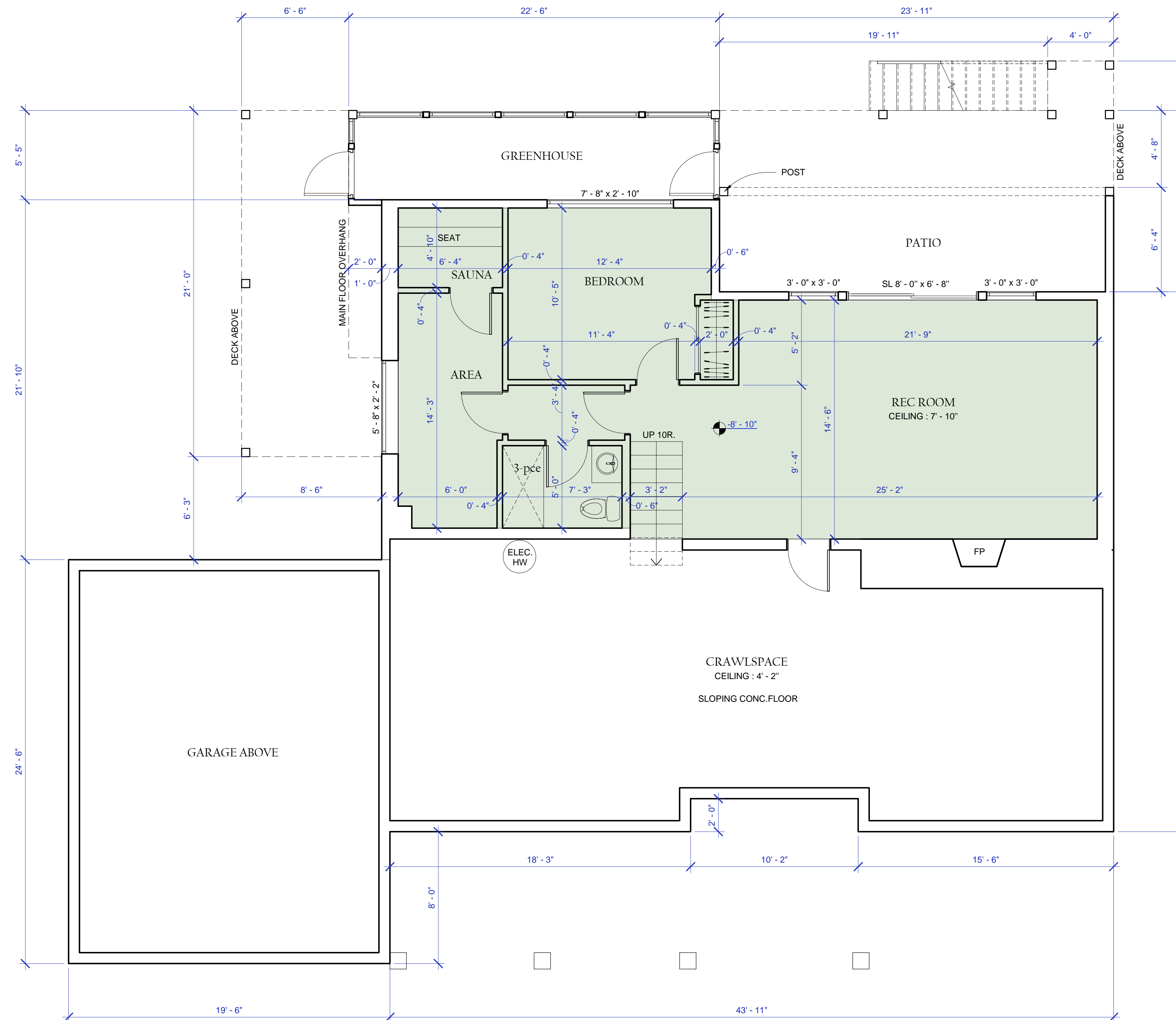
EXISTING LOWER FLOOR PLAN
 1/4" = 1'-0"

No.	Date	Appr.	Revision Notes
A	23-04-24		Permit set

No.	Date	Issue notes

Aspire Custom Designs 1145 Bute Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1855	
2814 SHORELINE DR RENOVATION	
EXISTING LOWER FLOOR PLAN	
Prepared by: L. Baker	Date: 2023-07
Checked by: L. Baker	Date: 1/4" = 1' or as noted
Date: Apr 24, 2023	A2.0

PROPOSED LOWER FLOOR - 711sq.ft / 66m²



PROPOSED LOWER FLOOR PLAN

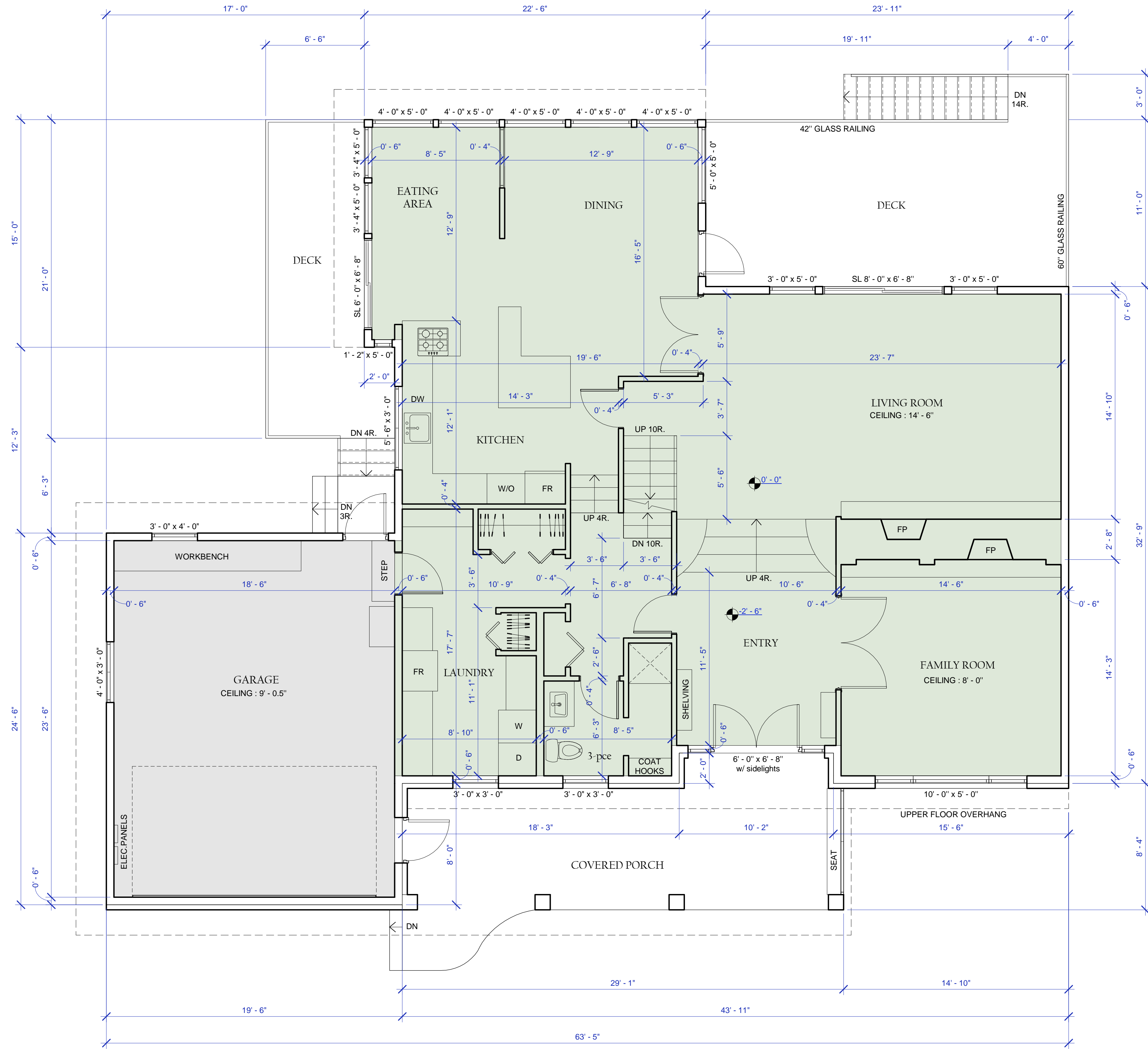
1/4" = 1'-0"

No.	Date	Appr.	Revision Notes
A	23-04-24	Permit set	

No.	Date	Issue notes

Aspire Custom Designs 1145 Bute Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1855	
2814 SHORELINE DR RENOVATION	
PROPOSED LOWER FLOOR PLAN	
Prepared by: L. Baker	Date: 2023-07
Checked by: L. Baker	Date: 1/4" = 1' or as noted
Date: Apr 24, 2023	Scale: A2.1

EXISTING MAIN FLOOR - 1606sq.ft / 149.2m²
EXISTING GARAGE - 435sq.ft / 40.4m²



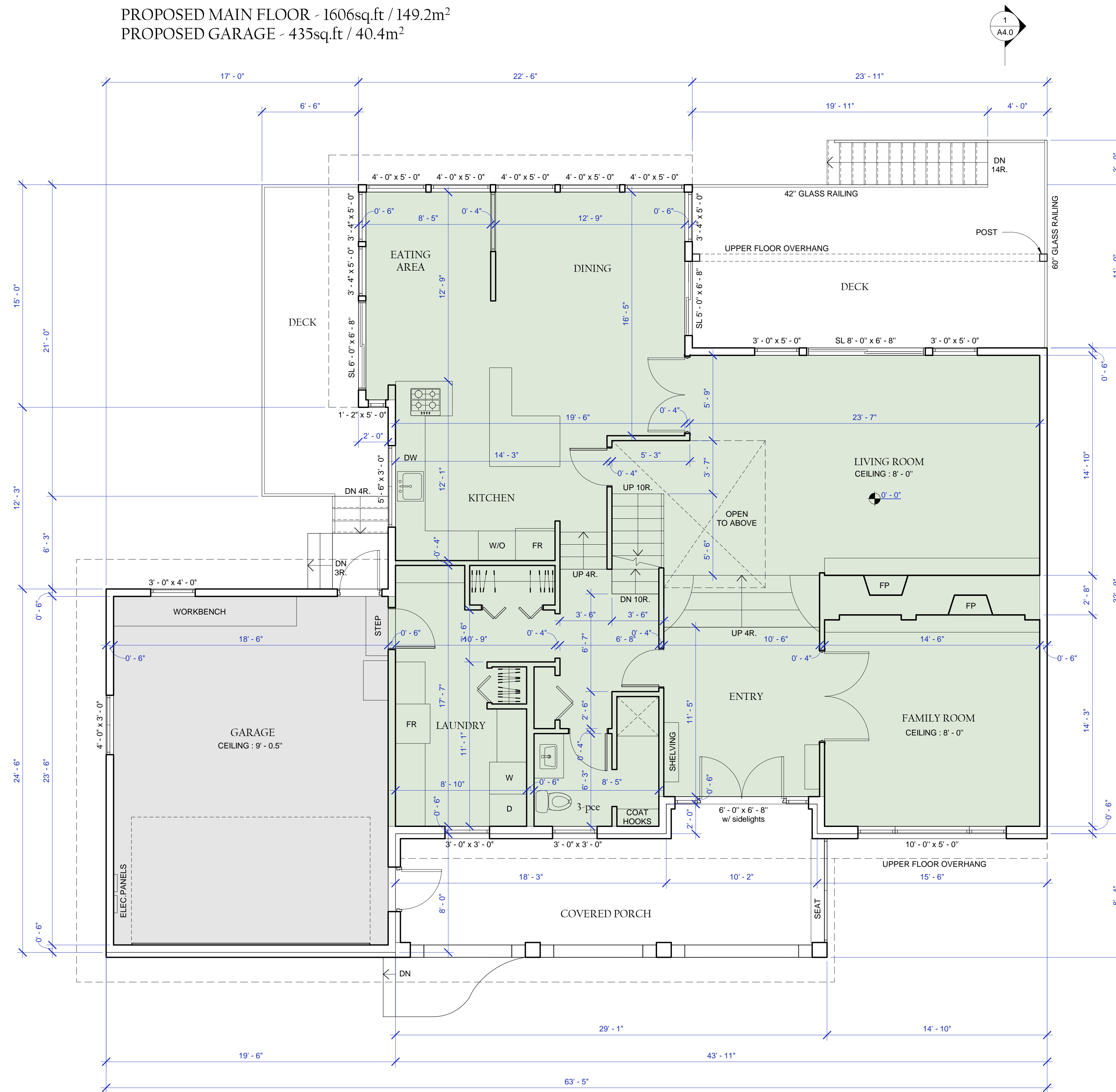
EXISTING MAIN FLOOR PLAN
1/4" = 1'-0"

No.	Date	Appr.	Revision Notes
A	23-04-24		Permit set

No.	Date	Issue notes

<p>Aspire Custom Designs 1145 Bude Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1855</p>	
<p>2814 SHORELINE DR RENOVATION</p>	
<p>EXISTING MAIN FLOOR PLAN</p>	
<p>Project No: 2023-07</p>	<p>Scale: 1/4" = 1' or as noted</p>
<p>Drawn By: L. Baker</p>	<p>Check By: L. Baker</p>
<p>Date: Apr 24, 2023</p>	<p>Sheet No: A2.2</p>

PROPOSED MAIN FLOOR - 1606sq.ft / 149.2m²
 PROPOSED GARAGE - 435sq.ft / 40.4m²



PROPOSED MAIN FLOOR PLAN

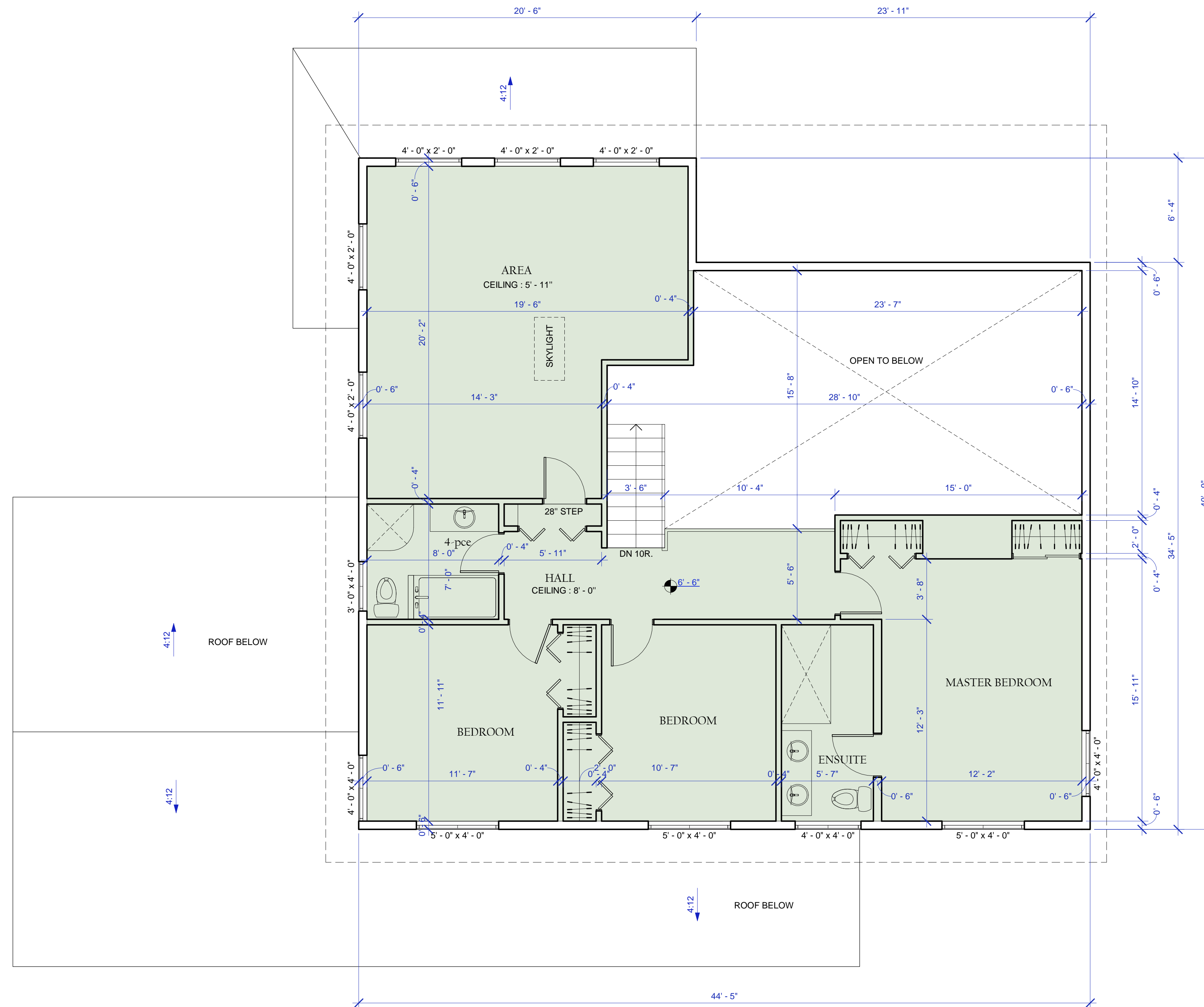
1/4" = 1'-0"

No.	Date	Appr.	Revision Notes
A	23-04-24	Permit set	

No.	Date	Issue notes

Aspire Custom Designs 1145 Bute Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1856	
2814 SHORELINE DR RENOVATION	
PROPOSED MAIN FLOOR PLAN	
Prepared by: L. Baker	Date: 2023-07
Checked by: L. Baker	Date: 1/4" = 1' or as noted
Date: Apr 24, 2023	A2.3

EXISTING UPPER FLOOR - 1161sq.ft / 107.9m²



EXISTING UPPER FLOOR PLAN

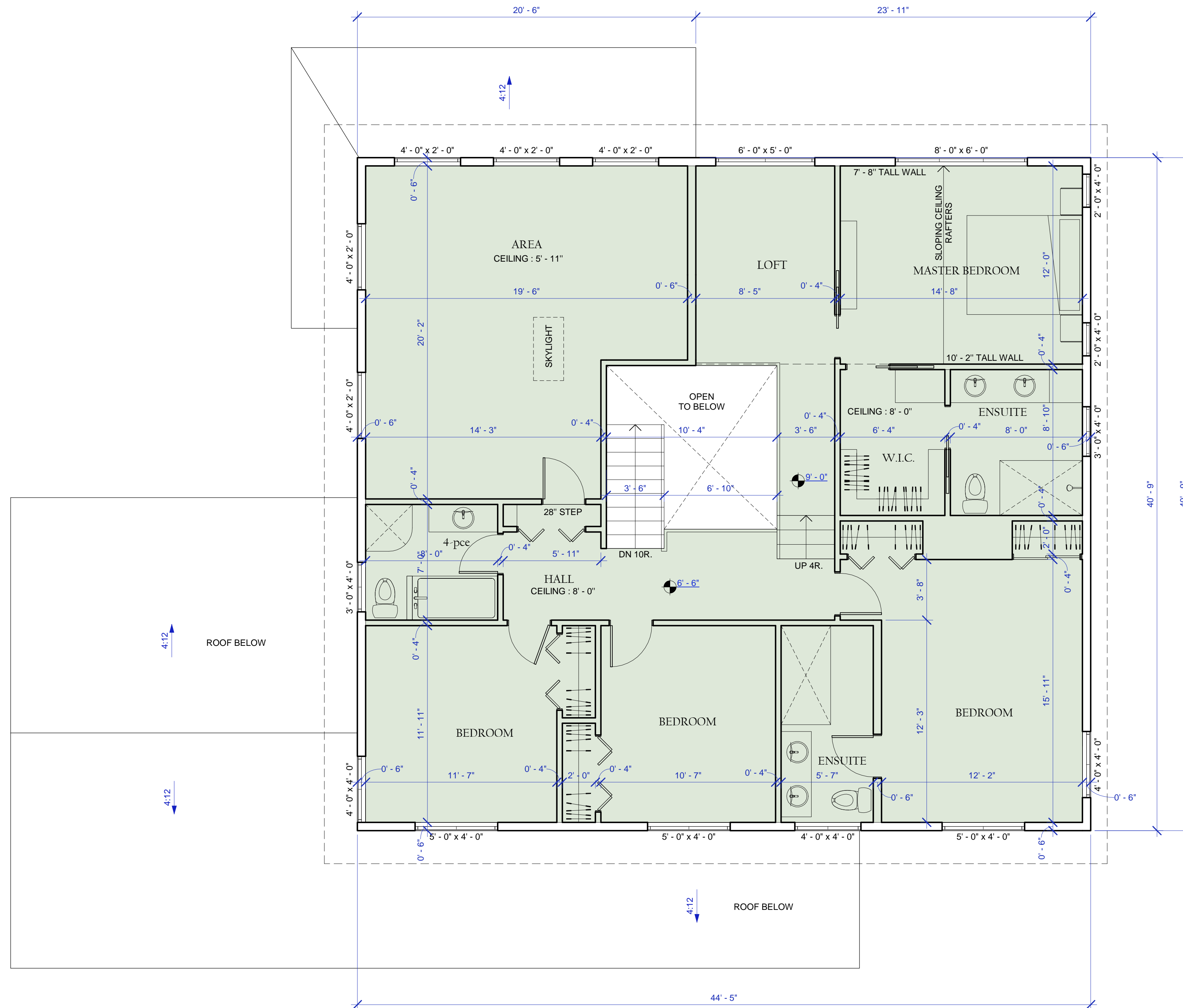
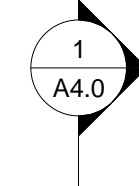
1/4" = 1'-0"

No.	Date	Appr.	Revision Notes
A	23-04-24		Permit set

No.	Date	Issue notes

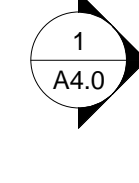
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<p>2814 SHORELINE DR RENOVATION</p>	
<p>EXISTING UPPER FLOOR PLAN</p>	
<p>Project No. 2023-07</p>	<p>Scale 1/4" = 1' or as noted</p>
<p>Drawn by L. Baker</p>	<p>Checked by L. Baker</p>
<p>Date Apr 24, 2023</p>	<p>A2.4</p>

PROPOSED UPPER FLOOR - 1619sq.ft / 150.4m²



PROPOSED UPPER FLOOR PLAN

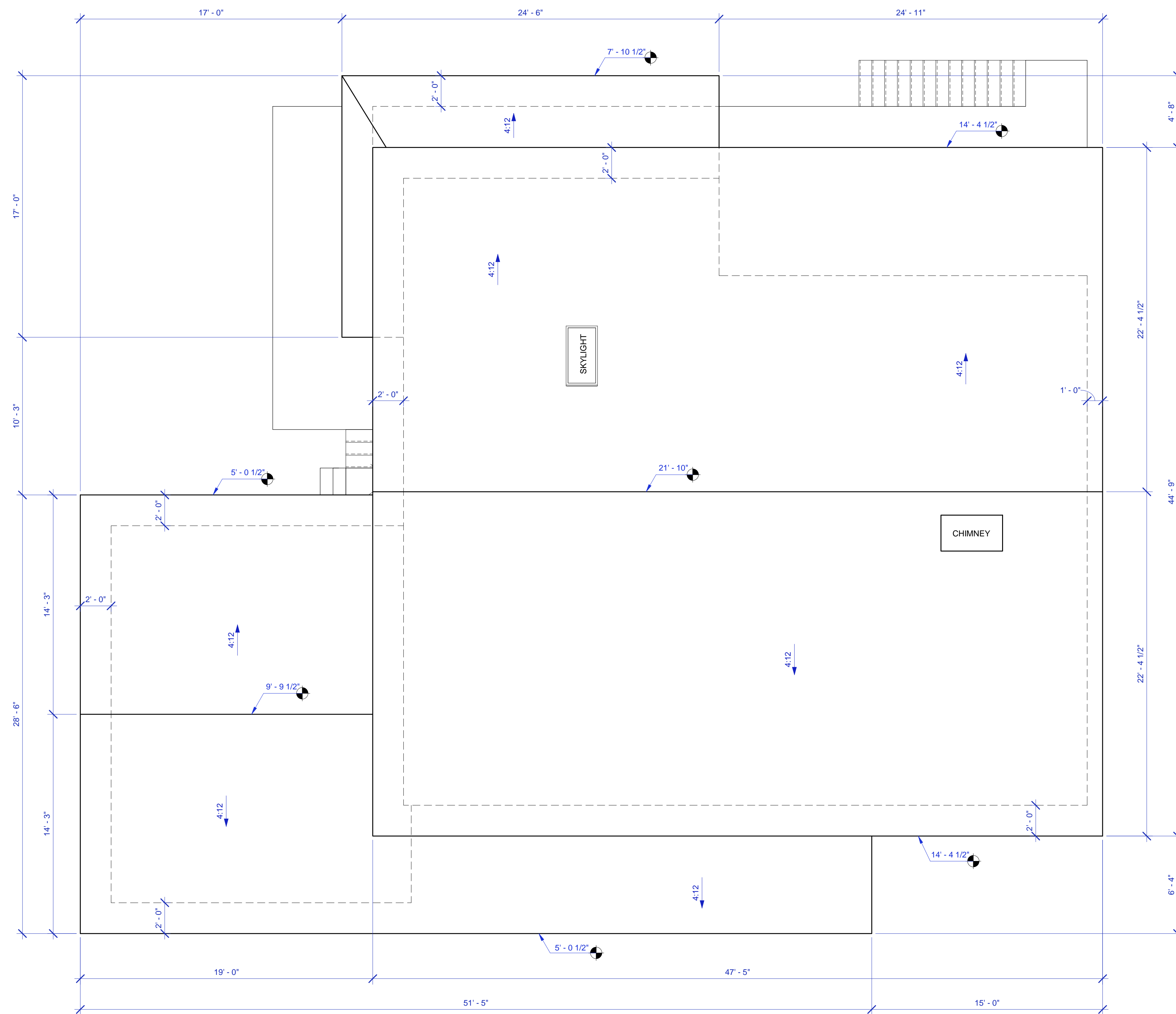
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No.	Date	Appr.	Revision Notes

No.	Date	Issue notes

23-04-24 Permit set	
Aspire Custom Designs 1145 Bude Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1856	
2814 SHORELINE DR RENOVATION	
PROPOSED UPPER FLOOR PLAN	
Date: 2023-07	Scale: 1/4" = 1' or as noted
Designer: L. Baker	Date: Apr 24, 2023
A2.5	



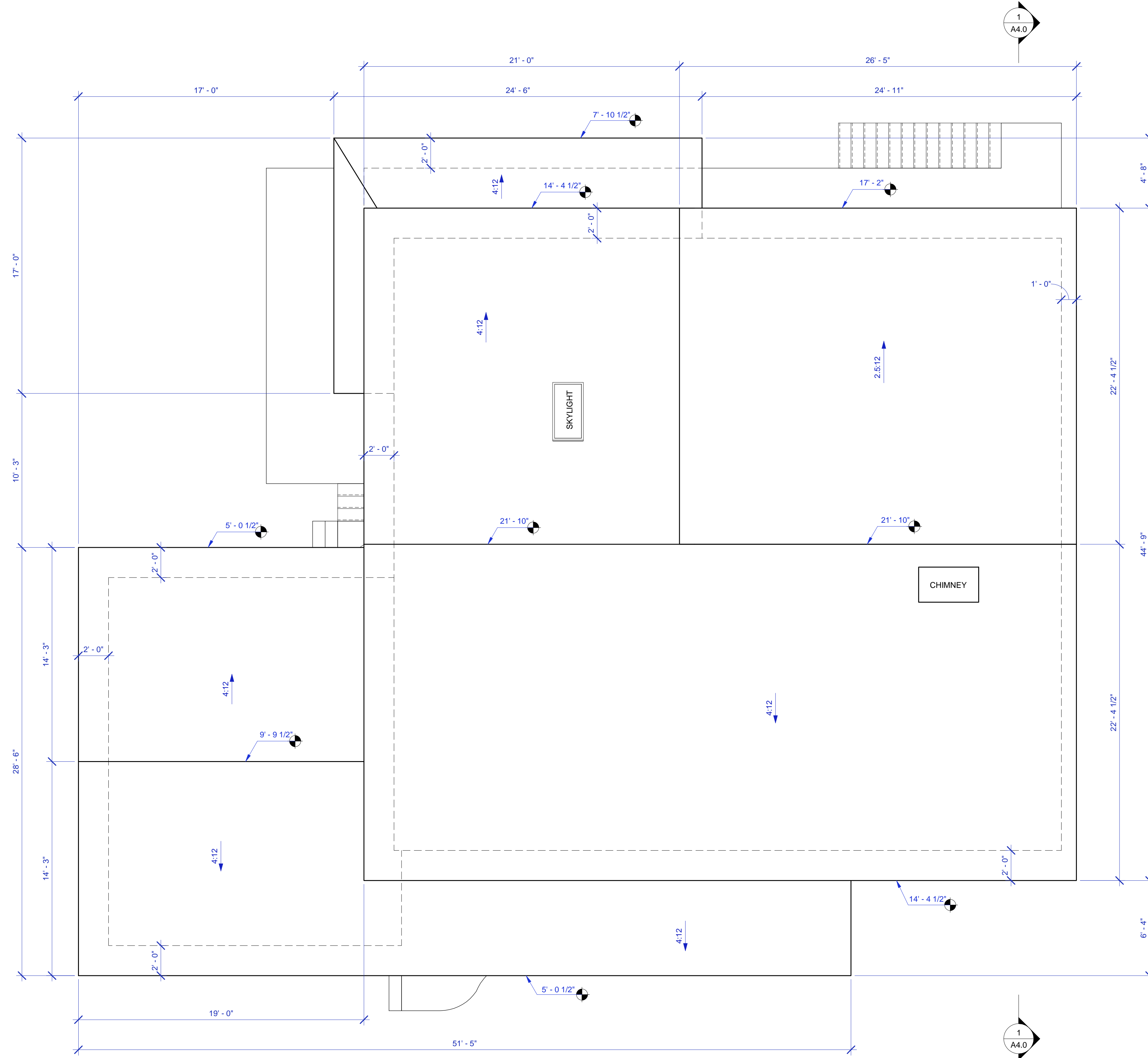
EXISTING ROOF PLAN

1/4" = 1'-0"

No.	Date	Appr.	Revision Notes
A	23-04-24		Permit set

No.	Date	Issue notes

<p>Aspire Custom Designs 1145 Bute Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1856</p>	
<p>2814 SHORELINE DR RENOVATION</p>	
<p>EXISTING ROOF PLAN</p>	
<p>Prepared By: L. Baker</p>	<p>Project ID: 2023-07</p>
<p>Reviewed By: L. Baker</p>	<p>Scale: 1/4" = 1' or as noted</p>
<p>Date: Apr 24, 2023</p>	<p>A2.6</p>



PROPOSED ROOF PLAN
 1/4" = 1'-0"

No.	Date	Appr.	Revision Notes

A. 23-04-24 Permit set			
No.	Date	Issue notes	
Aspire Custom Designs 1145 Bute Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1856			
2814 SHORELINE DR RENOVATION			
PROPOSED ROOF PLAN			
Project No:	2023-07		
Drawn By:	L. Baker	Scale:	1/4" = 1' or as noted
Reviewed By:	L. Baker	Date:	Apr 24, 2023
		A2.7	

11.35 Top of roof 21' - 10"

11.35 Top of roof 21' - 10"

Upper floor level 6' - 6" 6.68

Main floor level 0' - 0" 4.70

Entry level -2' - 6" 4.0

Garage -3' - 10" 3.58

EXISTING FRONT ELEVATION (EAST)

1/4" = 1'-0"

Upper floor level 6' - 6" 6.68

Main floor level 0' - 0" 4.70

Entry level -2' - 6" 4.0

Lower floor -8' - 10" 2.12

11.35 Top of roof 21' - 10"

EXISTING NORTH ELEVATION

1/4" = 1'-0"

7.44 Master bedroom level 9' - 0"

6.68 Upper floor level 6' - 6"

4.70 Main floor level 0' - 0"

4.0 Entry level -2' - 6"

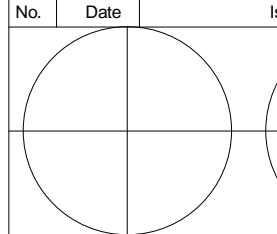
2.95 Average Grade

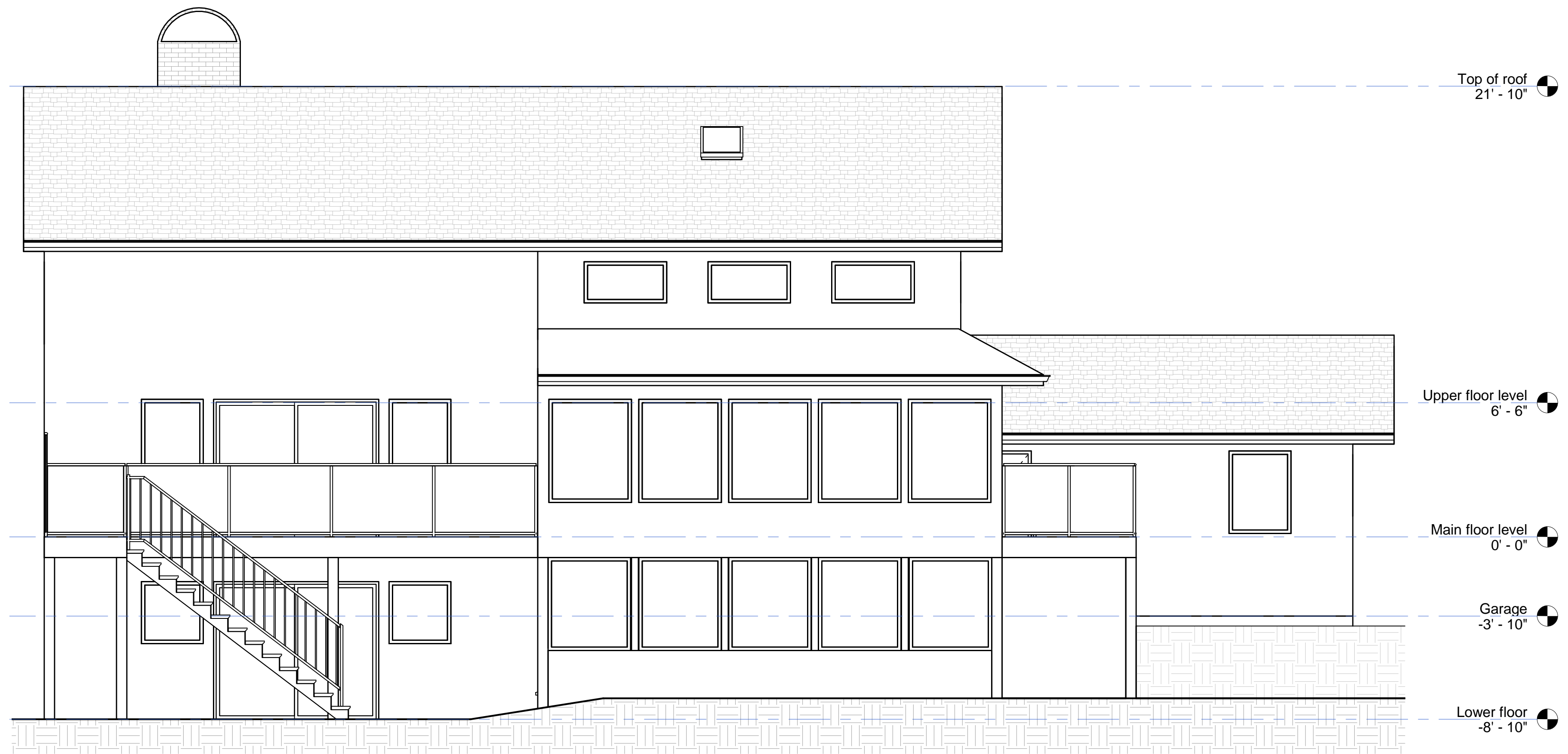
2.12 Lower floor -8' - 10"

PROPOSED NORTH ELEVATION

1/4" = 1'-0"

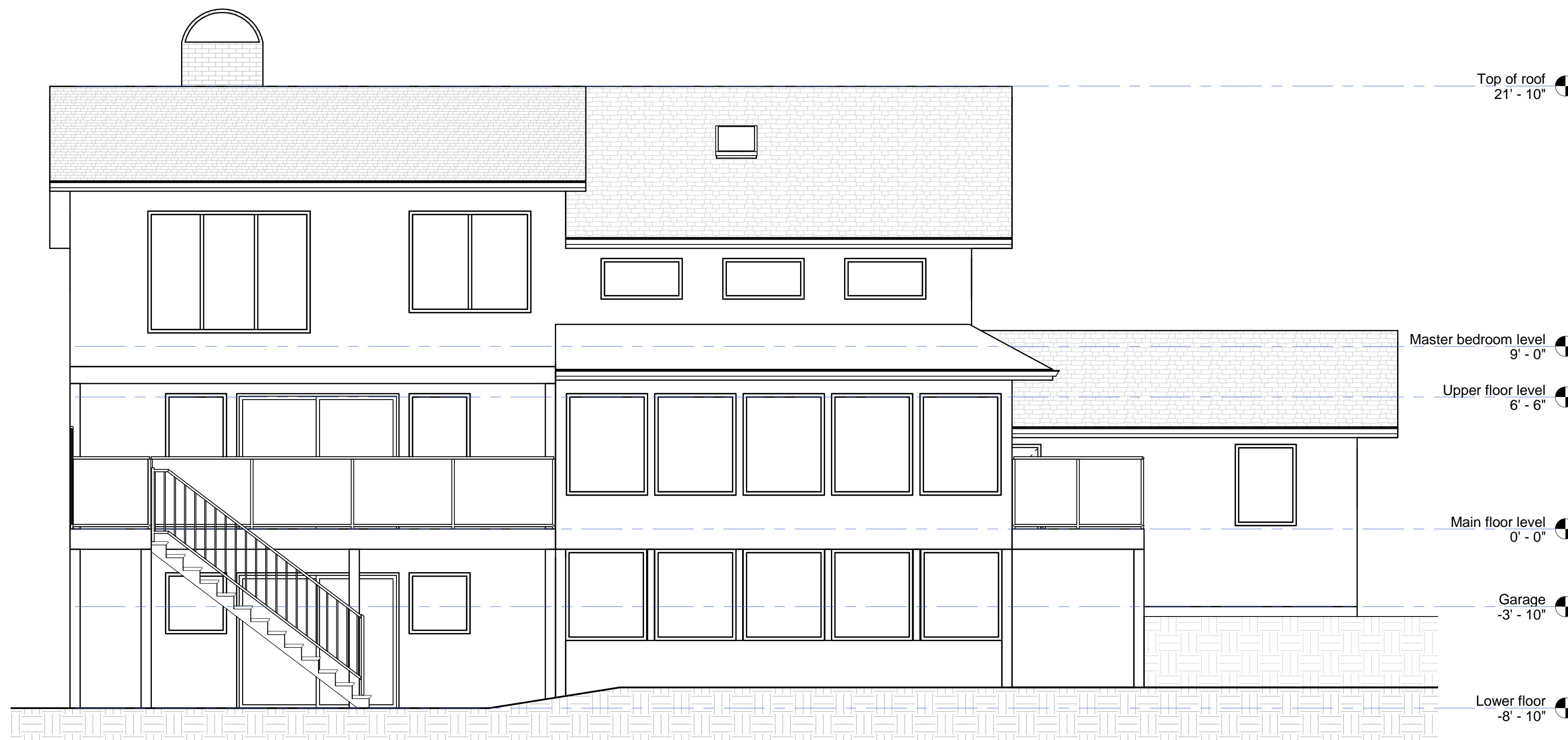
No.	Date	Appr.	Revision Notes
A	23-04-24	Permit set	Issue notes

	
<p>Aspire Custom Designs 1145 Bute Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1895</p>	
<p>2814 SHORELINE DR RENOVATION</p>	
<p>ELEVATIONS</p>	
<p>Drawn by: L. Baker</p>	<p>Scale: 1/4" = 1' or as noted</p>
<p>Date: Apr 24, 2023</p>	<p>Sheet No: A3.0</p>



EXISTING REAR ELEVATION (WEST)

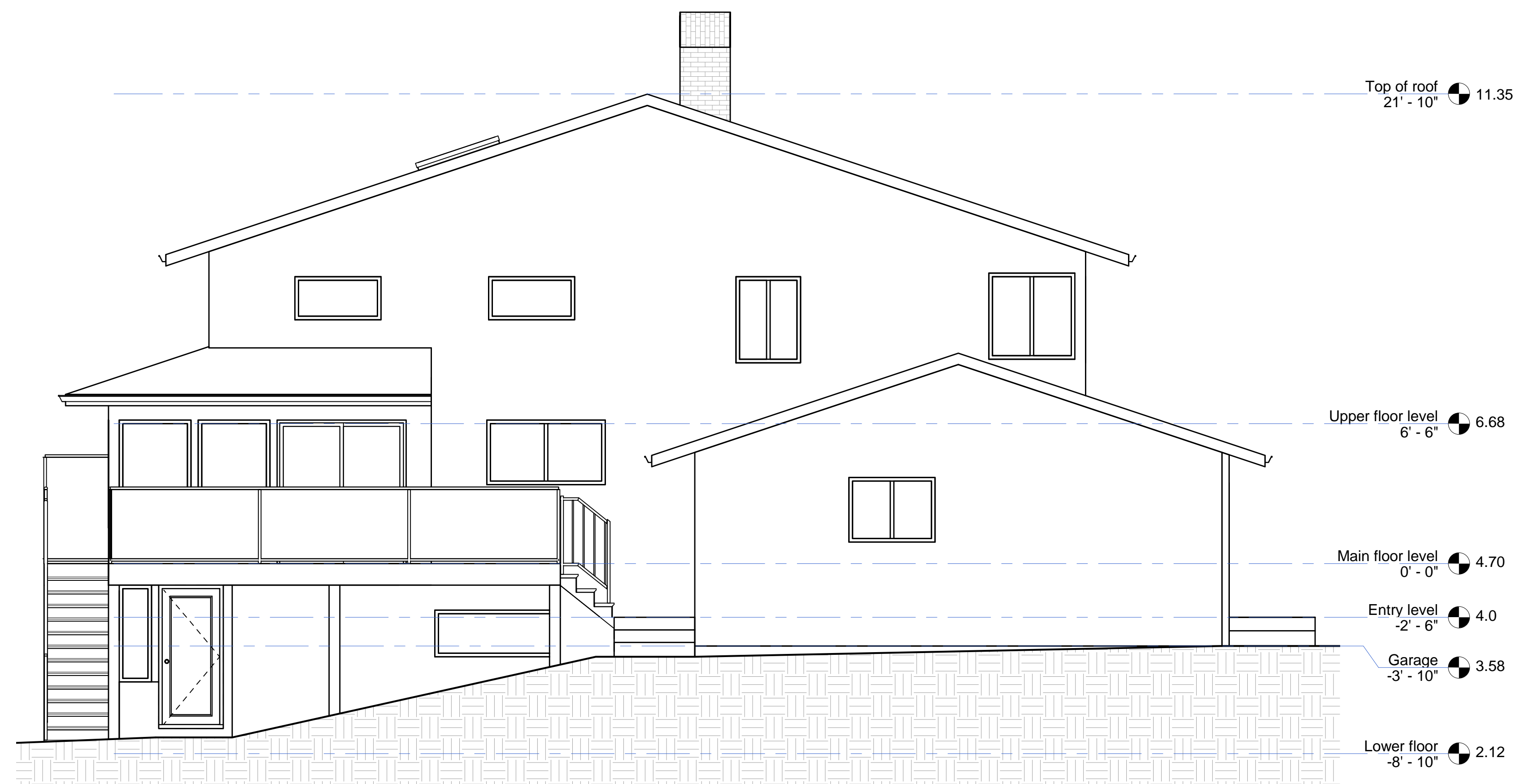
1/4" = 1'-0"



PROPOSED REAR ELEVATION (WEST)

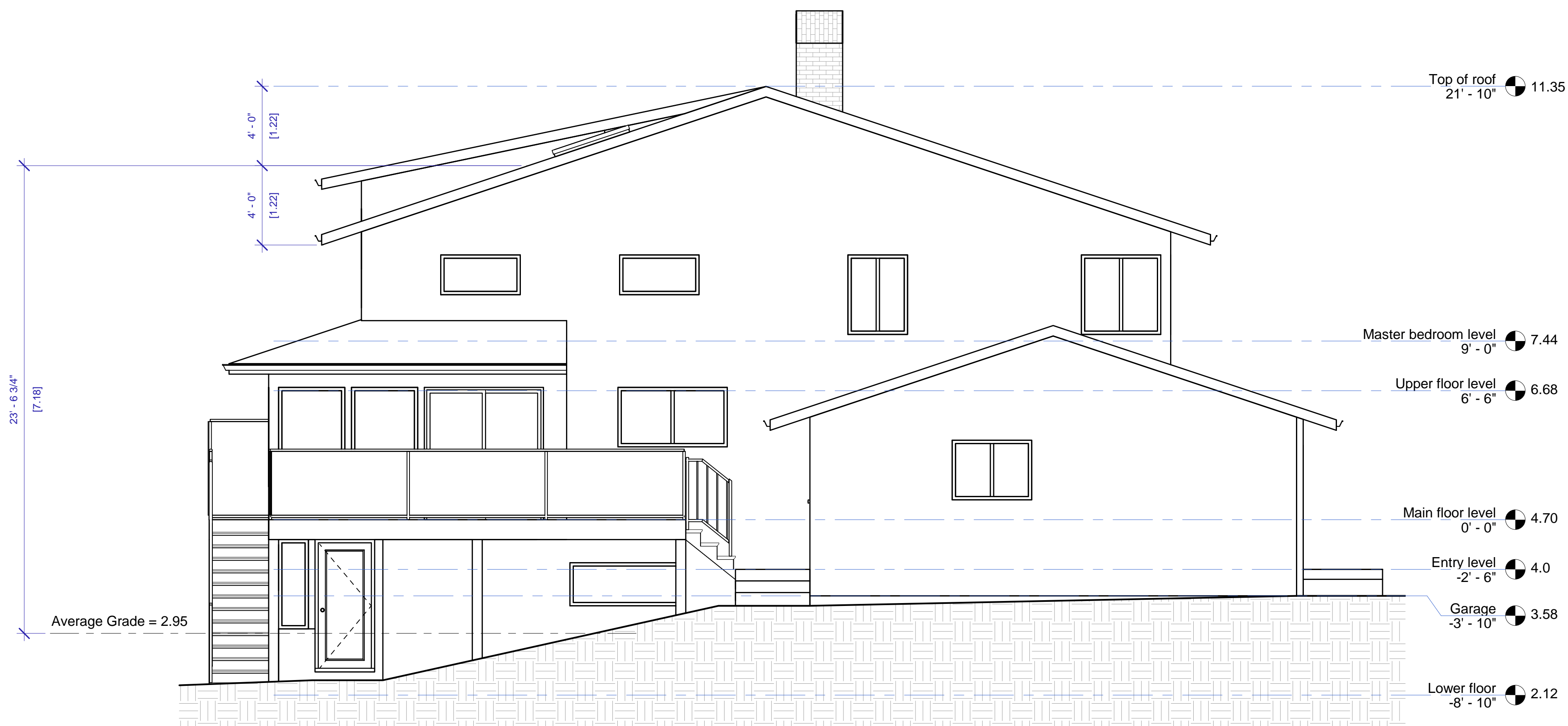
1/4" = 1'-0"

No.	Date	Appr.	Revision Notes						
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No.	Date	Issue notes							
A	23-04-24	Permit set							
<p>Aspire Custom Designs 1145 Bute Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1855</p>									
<p>2814 SHORELINE DR RENOVATION</p>									
<p>ELEVATIONS</p>									
<p>2023-07</p>									
<p>L. Baker 1/4" = 1'0" or as noted</p>									
<p>L. Baker</p>									
<p>Apr 24, 2023</p>									
<p>A3.1</p>									



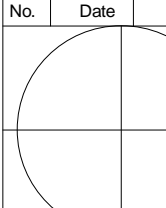
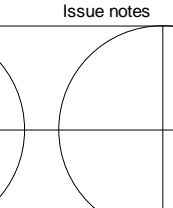
EXISTING SOUTH ELEVATION

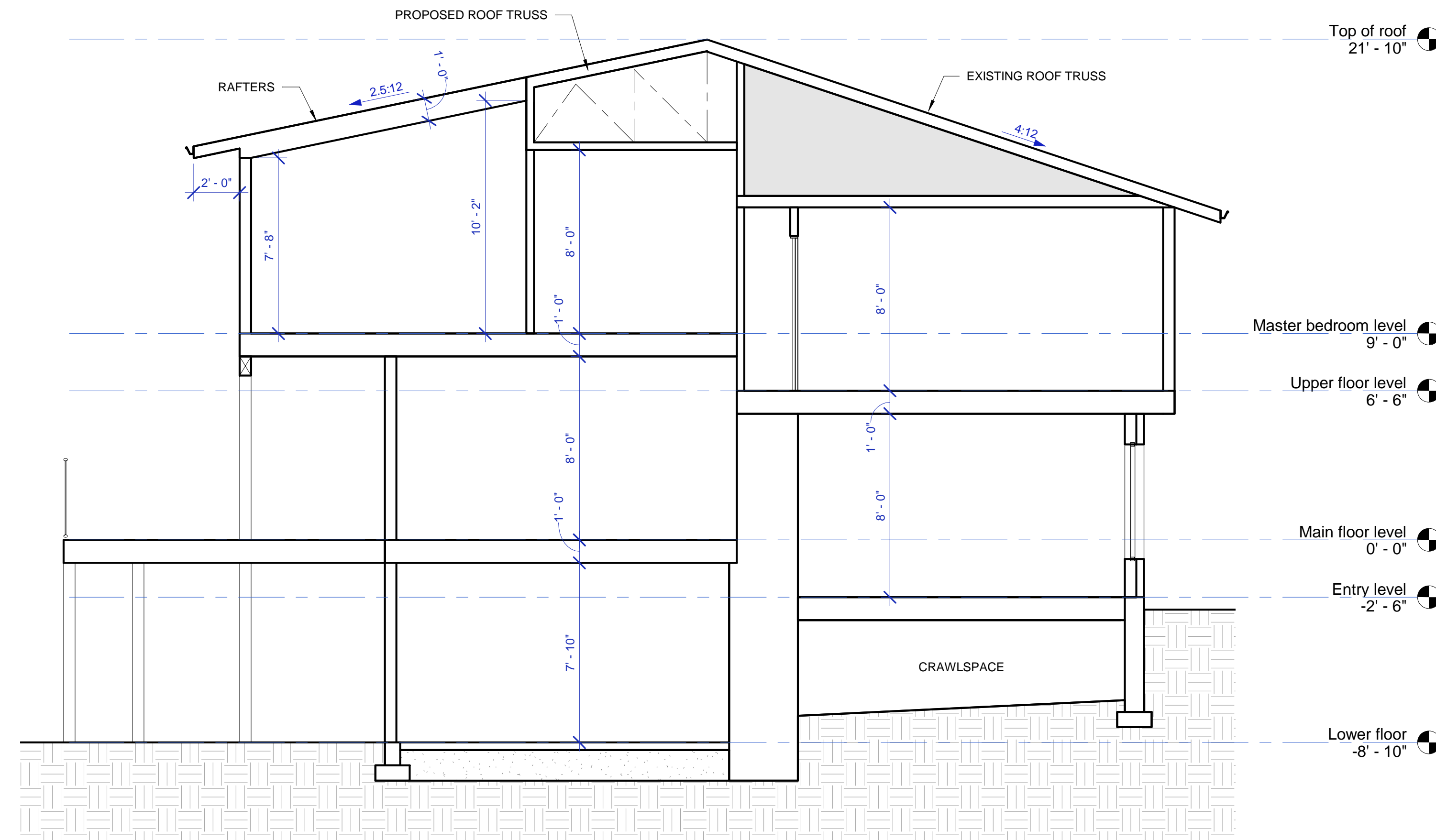
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

1/4" = 1'-0"

No.	Date	Appr.	Revision/Notes
 			
<p>Aspire Custom Designs 1145 Bude Street Victoria BC Canada V8Z-1L9 Lindsay J Baker 250-415-1855</p>			
<p>2814 SHORELINE DR RENOVATION</p>			
<p>ELEVATIONS</p>			
Project	2814 SHORELINE DR RENOVATION		
Date	Apr 24, 2023	Scale	1/4" = 1' or as noted
Author	L. Baker	Drawn By	L. Baker
Check By			



BUILDING SECTION

1/4" = 1'-0"

No.	Date	Appr.	Revision Notes
A	23-04-24	Permit set	

No.	Date	Issue notes

<p>Aspire Custom Designs 1145 Bute Street Victoria BC Canada V8S-1L9 Lindsay J Baker 250-415-1856</p>	
<p>2814 SHORELINE DR RENOVATION</p>	
<p>BUILDING SECTION</p>	
<p>2023-07</p>	<p>1/4" = 1'0" or as noted</p>
<p>L. Baker</p>	<p>L. Baker</p>
<p>Apr 24, 2023</p>	<p>A4.0</p>